



## PLANNING COMMISSION STAFF REPORT

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**TO:** Honorable Chair & Planning Commission      **DATE:** January 9, 2019  
**FROM:** Bruce Buckingham, Community Development Director  
**PREPARED BY:** Janet Reese, Associate Planner  
**SUBJECT:** Development Application 18-15 – Request for a Coastal Development Permit, Development Permit, and Use Permit to convert an existing warehouse building to a live/work unit located at 354 Front Street (Applicant: Jody Faulkner)

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### **RECOMMENDATION**

Staff recommends that the Planning Commission adopt a resolution approving Development Application 18-15.

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### **BACKGROUND**

#### Existing Site Conditions

The subject address is a 5,000 square foot parcel developed in 1978 with a 1,600 square foot metal building and paving. In 2006, windows were added and the building's exterior was refinished with stucco and stone. As part of the Land Use Element update in 2009, the Land Use designation was changed from Industrial to Visitor Serving – Mixed Use. Subsequently, Zoning was changed from Coastal Industrial Commercial to Coastal Commercial. Therefore, the existing warehouse use is a non-conforming use.

#### Data Summary:

**Property Owner and Applicant:** Jody Faulkner

**APN:** 060-132-002

**General Plan Designation:** Visitor Serving – Mixed Use

**Zoning:** Coastal Commercial (CC)

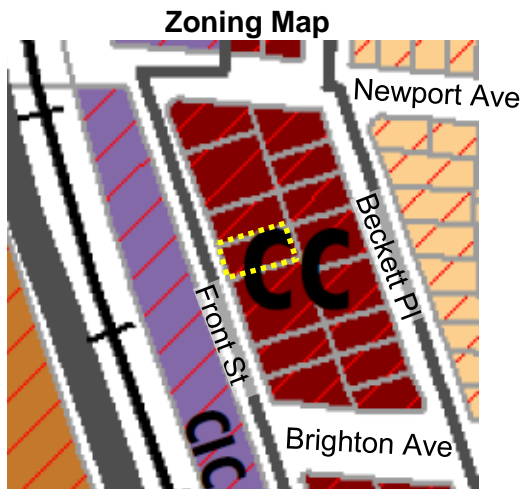
#### **Surrounding Zones and Uses:**

North: Coastal Commercial; one-story residence

South: Coastal Commercial; two-story residence

West: Coastal Industrial Commercial; multi-tenant commercial development

East: Coastal Commercial; commercial building



**Site Photo**



**Proposed Project**

The applicant is proposing to convert the existing warehouse to a live/work unit. The unit would be primarily residential, with a 93 square foot commercial office. The existing asphalt would be removed and replaced with landscaping, a concrete driveway and two parking spaces, including one accessible parking space.

**General Plan Consistency**

The subject property is designated Visitor Serving – Mixed Use. The Visitor Serving – Mixed Use designation accommodates a range of uses primarily for the convenience of visitors.

Staff has reviewed the proposed project and evaluated its consistency with applicable General Plan policies as follows:

**LU-2.3 Housing choices.** *The City shall provide for and encourage a range of housing choices, including live/work units, multifamily development and Single Room Occupancies (SRO), intended to meet the special needs of senior citizens, the physically and mentally challenged, and very low, low and moderate income households.*

The project proposes converting the non-conforming warehouse to one live/work unit. Therefore, staff believes the proposed project is consistent with this policy.

**LU-6.4 Preferences for mixed-use development.** In general, ground floor development within the Visitor Serving – Mixed-Use designation should be reserved for retail shops, eating and drinking establishments, and visitor accommodations, with the upper floors occupied by additional visitor accommodations, offices and dwellings. To assure adequate space for visitor serving uses, properties within this designation should not include general retail stores such as larger grocery and drug stores, auto sales or repair, or business services that are more suited to shopping centers. Although mixed-use development is encouraged, it is not required.

The small lot size precludes the ability to provide the parking spaces required for retail shops, eating and drinking establishments, and visitor accommodations. The proposed office use is allowed in the Visitor Serving – Mixed-Use designation. Therefore, staff believes the proposed project is consistent with this policy.

#### Development Code

The Development Code requires all non-residential structures to obtain approval of a Development Permit. The proposed use of the structure as a live/work unit requires the approval of a Use Permit. In addition, the project is located in the Coastal Zone which requires approval of a Coastal Development Permit.

The Development Code describes the Coastal Commercial Zone (CC) as a unique area of the City, which contains a mixture of industrial, commercial and residential uses. Appropriate uses for the area include visitor serving uses, commercial services, personal services, office, live/work, mixed use, and adaptive reuse.

As shown below, the proposed project complies with the development standards for the CC Zone (Development Code Section 2.30.040) and live/work units (Development Code Section 4.10.090).

<b>Coastal Commercial Zone Development Standard</b>	<b>Requirement</b>	<b>Proposed</b>
Front Yard Setback	10 feet minimum	54 feet
Side Yard Setback (north)	0 feet minimum	5 feet
Side Yard Setback (south)	0 feet minimum	5 feet
Rear Yard Setback	0 feet minimum	6 feet
Building Height (from average natural grade)	25 feet maximum	17 feet
Building Coverage	75 percent maximum	32 percent
Landscaping Coverage	10 percent minimum	31 percent
FAR	1.5 maximum	0.5

Live/Work Units Development Standard	Requirement	Proposed
Density	Maximum of 10 units per acre (maximum of 1)	1 unit
Floor area	1,000 square foot minimum	Office: 93 square feet Residential: 644 square feet Residential Garage: 863 square feet Residential non-habitable storage loft: 737 square feet
Orientation of Commercial Use	Towards the primary street frontage	Commercial entry door is oriented to Front Street while residential entry door is located to the side of the building
Parking	Based on the area of the commercial use, or a minimum of two spaces, whichever is greater (2 required)	2 parking spaces provided in addition to garage

The project would be conditioned to comply with the operating requirements pursuant to Development Code Section 4.10.090(F), including prohibiting the conversion of the building to either entirely residential or commercial use, occupation of the residential portion of the live/work unit by at least one employee of the office component of the unit, limiting hours of operation and noise, and limiting business operations to the building interior.

In addition to the findings for a Use Permit, the following findings specifically for live/work units are required to be made in the affirmative (Development Code Section 4.10.90(H)):

1. The proposed use of each live/work unit is compatible with residential activities and will not affect the health or safety of the live/work unit residents; and
2. The establishment of live/work units will not conflict with nor inhibit commercial or industrial uses in the area where the project is proposed.

The proposed use within the live/work unit is office, which is compatible to residential activities. The use and required parking will be contained on-site, and not conflict or inhibit other commercial uses or properties. Therefore, staff finds that the above findings can be made.

Public Works Department

Development Code Section 5.20 requires projects to install street improvements along the frontage of properties. Front Street has a pavement condition index rating greater than 60. Therefore, no street improvements are required except where existing improvements do not meet current standards (i.e. accessible sidewalk) or to repair or replace areas damaged during construction (i.e. repavement of utility trenches)..

Development Code Section 5.50 requires projects that replace more than 40 percent of their impervious surfaces to retain all drainage on-site. The project proposes an above ground basin that will retain all runoff on-site consistent with City Standards.

Development Code Section 5.40 requires non-single family projects underground all existing overhead utilities or pay an in-lieu fee adopted by the City Council. The project has been conditioned to comply with this requirement.

### Local Coastal Plan Policies

The project is located in the Coastal Zone, which requires approval of a Coastal Development Permit and must be found consistent with the City's Local Coastal Program (LCP). The LCP has two policies for development within the eastern portion of Visual Resource Area 3.

The first policy states that development in this area shall be screened from the Highway 1 viewshed by shrubs and low growing trees. The existing building can momentarily be visible from northbound Highway 1 south of the existing buildings located on the west side of Front Street. The project proposes a tree as part of the proposed landscaping, to screen a portion of the site.

The second policy states that the scenic qualities of the dunes, shoreline and ocean shall be addressed in the siting and design of the project and where feasible visually degraded areas shall be enhanced. The project does not modify the siting, height, or exterior of the existing building. However, the existing asphalt paving will be removed and replaced with landscaping and a concrete parking area to enhance the appearance of the site.

Therefore, staff finds that the project is consistent with the LCP policies related to visual quality.

### Conclusion

Staff is of the opinion that the project is consistent with the General Plan and Development Code and the findings can be made for the use as conditioned.

### Environmental Review

The proposed project is Categorically Exempt (Class 1) from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA") and CEQA Guidelines Section 15301 (Title 14 California Code of Regulations §§ 15000, et seq.) because the proposed project involves converting an existing warehouse building into a live/work unit.

### ALTERNATIVES

The Planning Commission has the following alternatives to consider:

1. Adopt the resolution to approve Development Application 18-15; or
2. Provide alternative direction to staff.

### PUBLIC NOTIFICATION

The agenda was posted in accordance with the Brown Act. A legal ad was published in *The Tribune* on December 28, 2018. A public hearing notice was posted on the subject property and mailed to property owners within 300 feet and occupants within 100 feet of the subject property.

### ATTACHMENTS

1. Draft Resolution



**PLANNING COMMISSION RESOLUTION NO. 19-\_\_**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GROVER BEACH APPROVING DEVELOPMENT APPLICATION 18-15 FOR A COASTAL DEVELOPMENT PERMIT, DEVELOPMENT PERMIT, AND USE PERMIT LOCATED AT 354 FRONT STREET (Applicant: Jody Faulkner)**

**WHEREAS**, an application has been received from Jody Faulkner (applicant and property owner) for Development Application 18-15, to convert an existing warehouse building to a live/work unit at 354 Front Street (APN 060-132-002); and

**WHEREAS**, the notice of Public Hearing for the Planning Commission meeting was sent to adjoining property owners and occupants and advertised in the manner required by law; and

**WHEREAS**, the proposed project qualifies for an Categorical Exemption consistent with CEQA Guidelines Section 15301: Existing Facilities; and

**WHEREAS**, the Planning Commission of the City of Grover Beach has reviewed and considered Development Application 18-15 at a Public Hearing on January 9, 2019; and

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Grover Beach **HEREBY** make the following findings with respect to Development Application 18-15:

**SECTION 1. Findings of Environmental Exemption.** The Planning Commission finds as follows:

1. The proposed project is Categorically Exempt (Class 1) from the provisions of the California Environmental Quality Act (California Public Resources Code §§ 21000, et seq., "CEQA").

**Fact.** The proposed project consists of the conversion of an existing non-conforming warehouse building into a live-work unit. The proposed project will not expand the existing building footprint and will include on-site modifications, including parking lot configuration and landscaping.

2. The proposed project is not located in an environmentally sensitive area, nor impact an environmental resource.

**Fact.** The site has been fully developed since 1978 and is not located in an environmentally sensitive area.

3. The proposed project will not have a cumulative impact of successive projects of the same type, in the same place, over a period of time.

**Fact.** The proposed project is located within a commercial zone with a variety of uses, including live-work, commercial, non-conforming industrial, and residential.

4. The proposed project will not have a significant effect on the environment based on the project record, which is on file at the City of Grover Beach Community Development Department.

5. The proposed project is not located on a designated scenic highway nor scenic resource.
6. The proposed project is not located on any hazardous waste list pursuant to Section 65962.5 of the Government Code.
7. The proposed project site is not a designated historical resource.

**SECTION 2. Findings for Coastal Development Permit.** The Planning Commission finds as follows in accordance with Grover Beach Municipal Code (GBMC) Article IX, Section 6.20.040(H):

1. The proposed development as modified by any conditions of approval, is in conformity with the City's certified Local Coastal Program and will not adversely affect coastal resources.

**Fact.** The proposed development involves the remodeling of an existing building into the proposed live/work unit and the replacement of asphalt paving with landscaping and concrete.

2. If the project is located between the first public road and the sea, that the project is in conformity with the public access and recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Sections 30200 of the Public Resources Code).

**Fact.** The project is not located between the first public road and the sea.

3. Feasible mitigation measures and/or alternatives have been incorporated to substantially lessen any significant adverse effects of the development on the environment.

**Fact.** The site is fully developed with a building an asphalt paving. The asphalt will be replaced with landscaping and concrete.

4. The proposed use is consistent with the purposes of the zone in which the site is located.

**Fact.** Live/work units and office uses are permitted in the Coastal Commercial Zone.

5. The proposed development is in conformance with the City's General Plan.
6. The proposed location of the use and conditions under which it may be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

**Fact.** The Coastal Commercial Zone allows a variety of commercial uses, including live/work units. As conditioned, the use will not constitute a hazard to the public interest, health, safety, or materially injurious to properties or improvements in the vicinity.



7. Public services are adequate to serve the proposed development.

**Fact.** The proposed development involves the remodeling of an existing building into the proposed live/work unit and the replacement of asphalt paving with landscaping and concrete.

**SECTION 3. Findings for Development Permit.** The Planning Commission finds as follows in accordance with Grover Beach Municipal Code (GBMC) Article IX, Section 6.20.060(F):

1. The proposed development is consistent with the General Plan, this Development Code, and other City goals, policies, and standards, as applicable.

**Fact.** The proposed project is consistent with all applicable General Plan policies and Development Code requirements for the Coastal Commercial Zone and live/work Units.

2. The subject site is physically suitable in terms of design, location, operating characteristics, shape, size, and topography.

**Fact.** The site is a 5,000 square foot rectangular flat lot fully improved with an existing 1,600 square foot building and asphalt paving. The site has appropriate circulation allowing for public access to parking. The project site is located in the Coastal Commercial Zone.

3. The site's suitability ensures that the type, density, and intensity of use being proposed will not constitute a hazard to the public interest, health, safety, or welfare.

**Fact.** The Coastal Commercial Zone allows a variety of commercial uses, including live/work units. As conditioned, the use will not constitute a hazard to the public interest, health, safety, or welfare.

**SECTION 4. Findings for Use Permit.** The Planning Commission finds as follows in accordance with Grover Beach Municipal Code (GBMC) Article IX, Section 6.20.090(F):

1. The proposed amendment is consistent with the General Plan, the Development Code, and other City goals, policies, and standards, as applicable.

**Fact.** The proposed project is consistent with all applicable General Plan policies and Development Code requirements for the Coastal Commercial Zone and live/work Units.

2. The subject site is physically suitable in terms of design, location, operating characteristics, shape, size, and topography.

**Fact.** The site is a 5,000 square foot rectangular flat lot fully improved with an existing 1,600 square foot building and asphalt paving. The site has appropriate circulation allowing for public access to parking. The project site is located in the Coastal Commercial Zone.

3. The type, density, and intensity of use being proposed will not constitute a hazard to the public interest, health, safety, or welfare.

**Fact.** The Coastal Commercial Zone allows a variety of commercial uses, including live/work units. As conditioned, the use will not constitute a hazard to the public interest, health, safety, or welfare.

**SECTION 5. Findings for Live/Work Unit.** The Planning Commission finds as follows in accordance with Grover Beach Municipal Code (GBMC) Article IX, Section 4.10.90(H):

1. The proposed use of the live/work unit is compatible with residential activities and will not affect the health or safety of the live/work unit's resident(s).

**Fact.** The proposed use within the unit is office, which is compatible to residential activities. The project is conditioned to require that the residential space will be occupied by at least one individual employed in the business conducted within the live/work unit. Future uses are limited to those permitted in the Coastal Commercial zone and in live/work units.

2. The establishment of the live/work unit will not conflict with nor inhibit commercial uses in the area where the project is proposed.

**Fact.** The use and required parking will be contained on-site.

**SECTION 6. Approval.** The Planning Commission of the City of Grover Beach, at a Regular Meeting on January 9, 2019, resolved to approve Development Application 18-15 for a Coastal Development Permit, Development Permit, and Use Permit subject to the following:

#### **CONDITIONS OF APPROVAL:**

##### GENERAL

- G-1. The Applicant agrees, as a condition of approval of this resolution, to indemnify, defend and hold harmless, at Applicant's expense, City and City's agents, officers and employees from and against any loss, liability, costs, damages, claims, action or proceeding of any kind including also any proceeding commenced to attack, review, set aside, void or annul the approval of this resolution or to determine the reasonableness, legality or validity of any condition attached hereto. City shall promptly notify Applicant of any such loss, liability, costs, damages, claims, action or proceeding to which City receives notice, and City will cooperate fully with Applicant in the defense thereof. Applicant shall reimburse the City for any court costs and attorney's fees that the City may be required to pay as a result of any such claim, action or proceeding. City may, in its sole discretion, participate in the defense of any such claim, action or proceeding, but such participation shall not relieve Applicant of the obligations of this condition. Applicant's acceptance of this resolution or commencement of construction or operations under this resolution shall be deemed to be acceptance of all conditions contained in this resolution.
- G-2. All Conditions of Approval shall be provided on a full size drawing sheet as part of the construction plan set. All notes and specifications as shown on the plans shall be

considered Conditions of Approval. If there is a conflict between the approved plans and the Conditions of Approval, the Conditions of Approval shall prevail. The project shall comply with all State and City codes, regulations, and standards. Construction plans shall comply with applicable California Building Codes in effect at the time of submittal.

- G-3. Prior to commencement of construction, construction plans shall be approved and applicable permits obtained. All construction traffic shall access the site utilizing the truck route(s) closest to the site as defined in the City Circulation Element and as approved by the City's Police Department.

#### COMMUNITY DEVELOPMENT DEPARTMENT

- CDD-1. This approval authorizes Development Application 18-15 for conversion of a 1,600 square foot, single-story, warehouse building to a live/work unit in substantial compliance with Exhibit A. The "storage loft" is non-habitable and may only accommodate mechanical or plumbing equipment (i.e. water heater, furnace) and storage.
- CDD-2. At the time of building permit submittal, tenant improvement plans shall include all modifications made to the building not reflected in the plans dated March 2, 2006 in addition to proposed modifications. Plans shall comply with California Building Code Section 419, in addition to any other applicable sections. Applicable Development Impact Fees and School Developer fees shall be paid with the permit fees.
- CDD-3. The residential space within the live/work unit shall be occupied by at least one individual employed in the business conducted within the live/work unit.
- CDD-4. The live/work unit shall not be converted to either entirely residential use or entirely business use.
- CDD-5. All business operations shall be conducted within the building interior. No outside work or storage shall be allowed.
- CDD-6. The hours of operation of the business in the work area shall be restricted to 7:00 a.m. to 10:00 p.m., except for passive activity that produces noise levels that are below the maximum acceptable levels in compliance with the City Noise Regulations.
- CDD-7. Prior to issuance of a building permit, the applicant shall submit a final landscape plan in compliance with GBMC Article IX Section 3.30 Landscaping Standards and the State's Model Landscape Ordinance.
- CDD-8. Prior to building permit issuance, the applicant shall prepare a deed restriction to be recorded for the live/work unit that includes all the limitation on uses, occupancy requirements, design standards and operating requirements as required by Development Code Section 4.10.090. The deed restriction shall be approved by the City Attorney.
- CDD-9. All roof and ground mounted equipment shall be screened in compliance with Development Code Section 3.10.020.G.

CDD-10. Prior to occupancy of any of the units, all required public improvements and landscaping shall be completed or bond posted.

FIVE CITIES FIRE AUTHORITY

- FD-1. All submitted building plans shall meet all applicable California Building and Fire Codes, including errata in effect at the time of submittal and shall be reviewed and approved by the Five Cities Fire Authority.
- FD-2. During construction, the applicant shall comply with Chapter 14 of the 2016 California Fire Code.
- FD-3. Installation of a NFPA 13D Fire Protection System is required and shall be installed in accordance with adopted building and fire codes. Plans shall be submitted to the City of Grover Beach and Five Cities Fire Authority for review and approval prior to installation.
- FD-4. A minimum 1" water service line and 1" water meter must be installed to the structure, calculated and approved by Fire Protection Engineer.
- FD-5. Riser must have a water flow alarm with a dedicated electrical circuit and a lock on device installed.
- FD-6. Fire extinguishers shall be located at each Exit on each floor in a protective enclosure with appropriate signs posted
- FD-7. Five Cities Fire Authority must be contacted and an appointment made to do a rough fire sprinkler inspection prior to drywall / insulation install. After construction is complete, an appointment made and a final fire sprinkler inspection must be completed.

PUBLIC WORKS DEPARTMENT/CITY ENGINEER

- PW/CE-1. Construct a concrete driveway to meet City standards for design, materials, location and as required by applicable ADA regulations. Work in the right-of-way is subject to a separate Encroachment Permit obtained from Public Works Department.
- PW/CE-2. A minimum 1" water lateral and meter shall service the domestic, fire suppression and landscape needs of the project, subject to the approval of the Public Works Department.
- PW/CE-3. A 4" sanitary sewer lateral shall service the lot. Prior to re-use of an existing sewer lateral, the materials, location, and gradient are subject to the approval of the City Engineer (a video camera inspection is required).
- PW/CE-4. Any existing water or sewer service line requiring replacement or upgrades shall be abandoned at the main, to the satisfaction of the City Engineer.
- PW/CE-5. Prior to issuance of a building permit, an engineered grading and drainage plan shall be submitted for approval and the following are required:

- a) Show all existing and proposed easements (proposed public sidewalk behind driveway, for example).
- b) Clearly depict finished surface, flowline, invert elevations and drainage routes.
- c) Capture 100% of the surface runoff due to the replacement of impervious surfaces. All storm water generated by the project shall be collected and retained onsite, as required by Development Code Section 5.50.080.
- d) Prepare an Erosion Control Plan.
- e) Provide safe overland routes and overflows in a non-erosive or concentrated manner in the event of flooding.

PW/CE-6. Prior to issuance of a building permit, the applicant shall comply with Municipal Code Article IX Development Code, Chapter 5.60 Stormwater Construction and Post Construction Management. This will require submittal of a Stormwater Control Plan.

PW/CE-7. Subject to the approval of the City Engineer, but prior to Final Inspection, record Exhibit A - Post Construction Stormwater Management System Operations & Maintenance Plan, and Exhibit B – Checklist.

PW/CE-8. Prior to issuance of a Certificate of Occupancy, all existing and proposed utilities shall be undergrounded, as required by Municipal Code Article IX Section 5.40, or in lieu fee paid. The plans are to be reviewed and approved by the respective Utility Service Planner. To the extent feasible, the point of connection for undergrounding shall be located at the utility pole supporting the main service lines.

On motion by \_\_\_\_\_, seconded by \_\_\_\_\_, and on the following roll-call vote, to wit:

AYES: Commissioners –  
NOES: Commissioners –  
ABSENT: Commissioners –  
ABSTAIN: Commissioners –

The foregoing RESOLUTION NO. 19-\_\_ was **PASSED, APPROVED**, and **ADOPTED** at a Regular Meeting of the City of Grover Beach Planning Commission on this 9<sup>th</sup> day of January, 2019.

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JOHN LAFERRIERE, CHAIR

Attest:

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BRUCE BUCKINGHAM, COMMUNITY DEVELOPMENT DIRECTOR  
SECRETARY TO THE PLANNING COMMISSION

**Exhibit A**



**PERMITS REQUIRED**  
 42-8042  
 760 BOK CA 134A  
 651-267-428  
 www.cd.commercial.org

**PROJECT**  
 135 SF / 250 = 54 SPACES  
 PROPOSED PARKING = 2 SPACES (1 ADA SPACE)



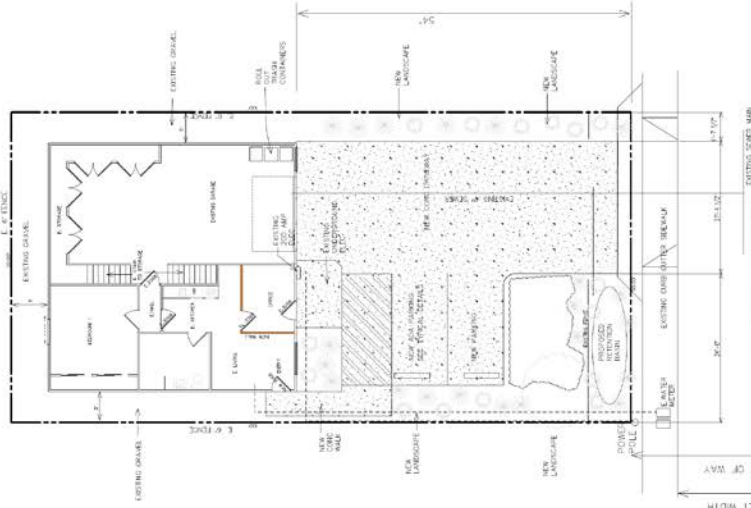
**REVISIONS**  
 PLAN SHEET 19-25-18  
 PLAN NUMBER 19-13-18  
 SHEET NUMBER 19-13-18  
 DATE: 09-20-18

**SHEET 1**

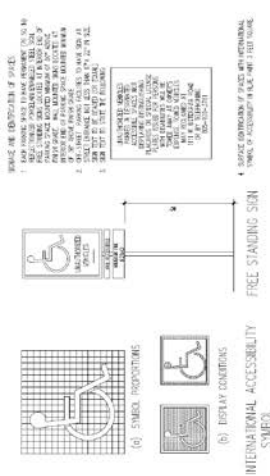
DATA	
OWNER NAME	FALKNER, JOY F TR
ASSESSMENT NUMBER	060-123-002
STREET ADDRESS	354 FRONT ST
LOT SIZE	= 5,000 SF
ZONING	= COASTAL COMMERCIAL
EXISTING AREAS	
OFFICE AND BARRIUM	8573 SF
WAREHOUSE - GARAGE	1,425 SF
LOFT STORAGE AREA	737 SF
FOOTPRINT	1,000 SF
PAVING	2698 SF
LANDSCAPE	702 SF
NEW AREAS	
RESIDENTIAL LIVING SPACE	844 SF
BEDROOM, L. BATHROOM, KITCHEN, LIVING, ENTRY, HALL	83 SF
OFFICE	863 SF
GARAGE	737 SF
LOFT	1,600 SF 32%
FOOTPRINT	1845 SF 37%
LANDSCAPE	1005 SF 31%
PARKING CALCULATION	
135 SF / 250 = 54 SPACES	
PROPOSED PARKING = 2 SPACES (1 ADA SPACE)	



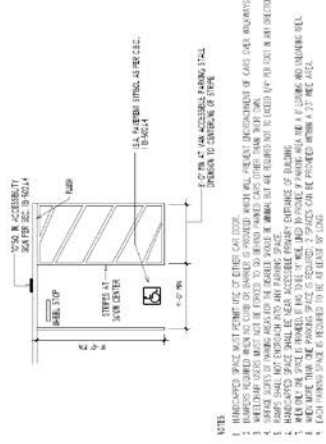
**PROJECT DESCRIPTION**  
 CONVERTING EXISTING WAREHOUSE BUILDING INTO LIVE WORK UNIT DIVIDING EXISTING OFFICE AND ENTRY LIVING AREA, ADDING EXTERIOR DOOR TO NEW OFFICE, REDOING ENTIRE FRONT AREA REMOVING EXISTING PARKING AND LANDSCAPING.



**SITE PLAN**  
 SCALE 1/8" = 1'-0"



**TYPICAL PARKING SIGNS**



**TYPICAL ADA PARKING DETAILS**

**PLANT LIST**

- LANDSCAPING MUST COMPLY WITH SANITARY WASTE REQUIREMENTS
- SHRUBS AND PERENNIALS (1 GAL EXCEPT AS NOTED)
- ADORNMENTS (SEE ANNOT. R. SCAFFOLD BRKT. / LIST OF THE BILT)
- Seeds (see notes) / Seeded Paper / Seeded Paper / 10" dia.
- See landscape: Shrub: Baby's Breckon / Seeded Paper
- See landscape: Shrub: Baby's Breckon / Seeded Paper



**CABELLA ASSOCIATES**  
10100 G.S.  
RIMMICK, CA 94431  
803-440-4226  
www.cabellassociates.net

**PROJECT:**  
LUMI HOLDING COMPANY INC  
354 FRONT STREET  
GROVER BEACH, CA 93433

**OWNER:**  
LUMI HOLDING COMPANY INC  
354 FRONT STREET  
GROVER BEACH, CA



**REVISIONS:**  
PLAN CHECK 10-26-18  
PLAN CHECK 11-10-18

28 • 1725

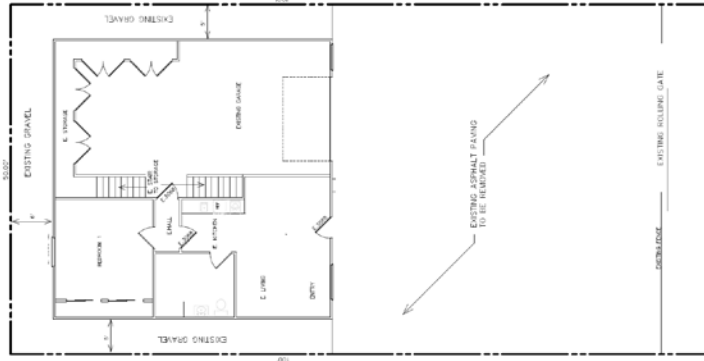
DATE: 04-09-18

**SHEET**

1.1

**EXISTING AREAS**

OFFICE AND BATHROOM	457.5 SF
WAREHOUSE, GARAGE	1,142.5 SF
LOFT STORAGE AREA	737 SF
FOOTPRINT	1,600 SF
PAVING	2,698 SF
LANDSCAPE	702 SF

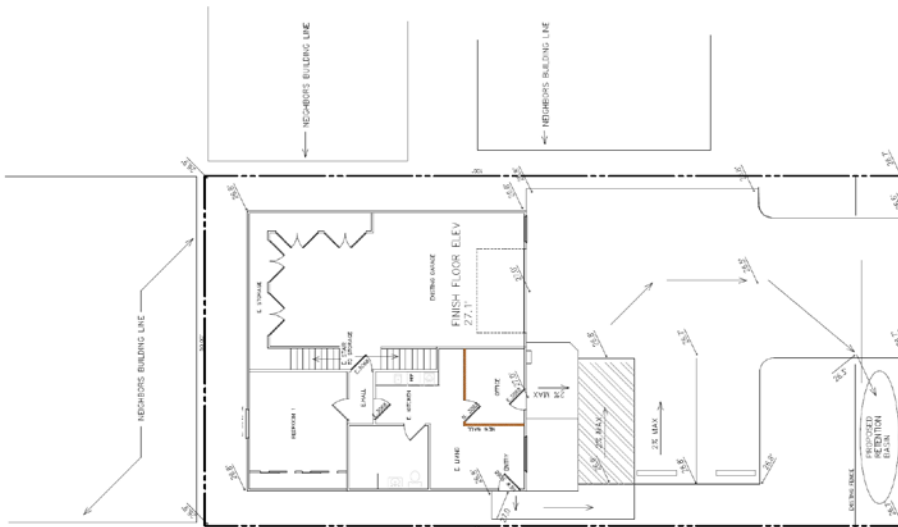


FRONT STREET



**EXISTING SITE PLAN**

SCALE 1/8" = 1'-0"



FRONT STREET



**PRELIMINARY DRAINAGE PLAN**

SCALE 1/8" = 1'-0"



**BRIBBLES REPRESENTS**  
 1000 S. GARDEN ST. SUITE 100  
 IRVINE, CA 92614  
 949.442.4206  
 www.bribbles.com/real

**PROJECT:**  
 SUNSHINE BUILDING COMPANY INC  
 1344 MOUNT ROSE  
 GROVER BEACH, CA 93433  
**OWNER:**  
 JOY FALLON  
 1344 MOUNT ROSE  
 GROVER BEACH, CA

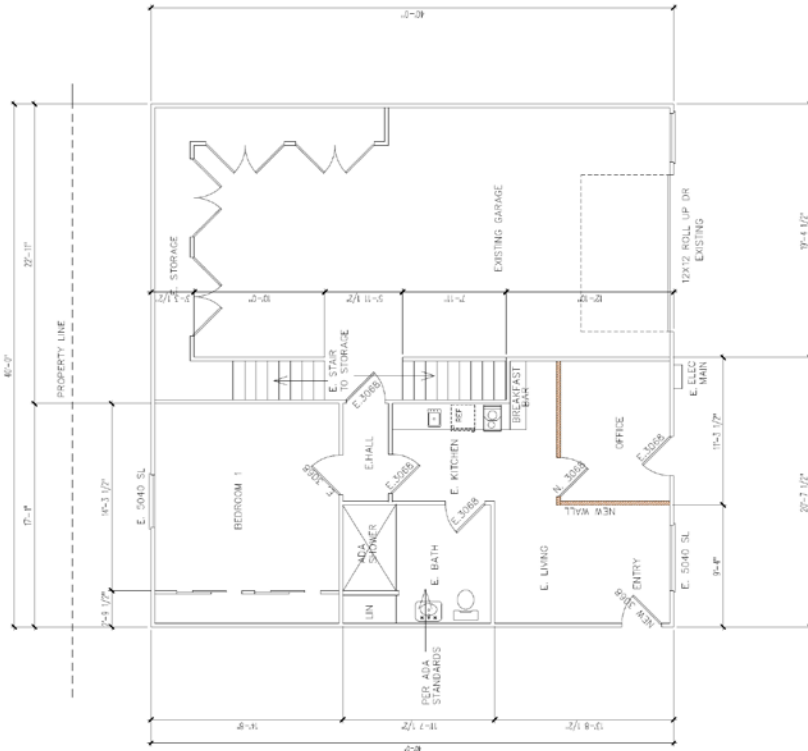


**REVISIONS:**  
 PLAN SHEET 19-24-18  
 PLAN SHEET 19-12-19

**DR • 1705**  
 DATE 04-09-19

**SHEET**

2



**FLOOR PLAN**

SCALE 1/4" = 1'-0"



**2ND FLOOR PLAN**

SCALE 1/4" = 1'-0"





**REBECCA REEBER**  
 PLS 100.42  
 1936 BORN LN 15448  
 925-440-4006  
 www.rebeccareebers.com

**PROJECT**  
 LIFE HOLDING COMPANY INC  
 354 FRONT STREET  
 GROVER BEACH CA 93023  
**OWNER**  
 LIFE HOLDING COMPANY  
 354 FRONT STREET  
 GROVER BEACH CA



**REVISIONS**  
 PLAN SHEET 19-34-8

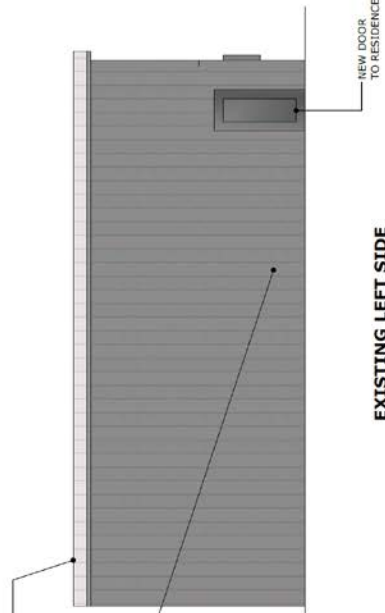
**JOB #** 1705  
**DATE** 04-09-19

**SHEET**

**3**

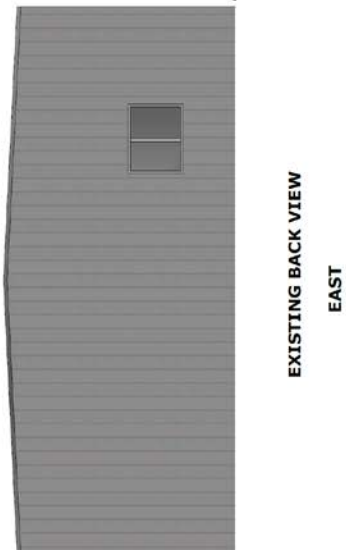


**EXISTING FRONT VIEW  
WEST**

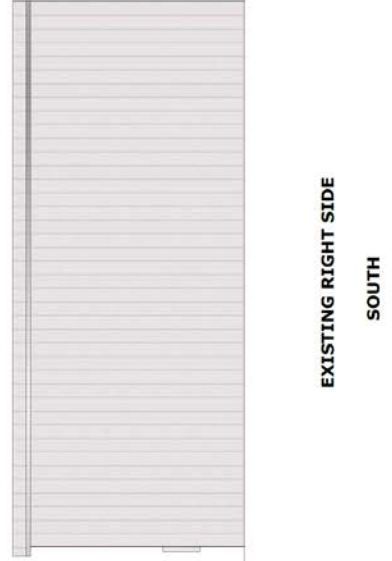


**EXISTING LEFT SIDE  
NORTH**

**TYPICAL SCALE 1/4" = 1'-0"**



**EXISTING BACK VIEW  
EAST**



**EXISTING RIGHT SIDE  
SOUTH**